

THE CORPORATION OF THE CITY OF NORTH BAY

BY-LAW NO. 29-96

**A BY-LAW TO AMEND BY-LAW NO. 28-80 TO
REZONE CERTAIN LANDS ON MCKEOWN
AVENUE FROM A 'RESIDENTIAL MULTIPLE
SECOND DENSITY (RM2)' ZONE TO A
'RESIDENTIAL MULTIPLE THIRD DENSITY
SPECIAL ZONE NO. 68 (RM3 SP.68)'
(S. CREA - MCKEOWN AVENUE)**

WHEREAS the owner of the subject property has requested a rezoning;

AND WHEREAS the Council of The Corporation of the City of North Bay has ensured that adequate information has been made available to the public, and has held at least one public meeting after due notice for the purpose of informing the public of this By-law;

AND WHEREAS it is deemed desirable to amend the zone designation shown on Schedule "B-32" of By-law No. 28-80 pursuant to Section 34 of the Planning Act, R.S.O. 1990.

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE CITY OF NORTH BAY HEREBY ENACTS AS FOLLOWS:

- 1) Schedule "B-32" of By-law No. 28-80 is amended by changing the zoning designation of the property shown on Schedule "A" attached hereto (which property is more particularly described as Parcel 9432 W&F, Parts 1 and 2, Plan 36R-9817 and part of the former Larocque Street road allowance) along McKeown Avenue in the City of North Bay, shown as hatched on Schedules "B" and "C" attached hereto from a "Residential Multiple Second Density (RM2)" zone to a "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)".
- 2) Section 11 of By-law No. 28-80 is amended by inserting at the end thereof the following Section 11.2.68:
 - 11.2.68 "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)"
 - 11.2.68.1 The property description of this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)" is Parcel 9432 W&F, Parts 1 and 2, Plan 36R-9817 and part of the former Larocque Street road allowance along McKeown Avenue in the City of North Bay as shown on the attached Schedules and Schedule "B-32".
 - 11.2.68.2(a) No person shall use land, or use, erect, or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)", except for the following uses:

- an apartment building having no more than six (6) dwelling units .

11.2.68.2(b) The regulations for this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)" are as follows:

- i) the minimum lot frontage shall be seventeen and zero-tenths (17.0) metres;
- ii) the minimum front yard setback shall be one and five-tenths (1.5) metres;
- iii) the minimum westerly side yard shall be three and zero-tenths (3.0) metres;
- iv) the minimum easterly side yard shall be three and nine-tenths (3.9) metres.

11.2.68.2(c) The requirements of Subsections 5.3.6 (landscaping), 5.3.7, and 5.3.8 (play space) of Zoning By-law No. 28-80 shall not apply to this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)".

11.2.68.3 The use of land or building in this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)" shall conform to all other regulations of this By-law, except as hereby expressly varied."

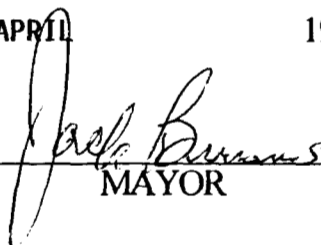
- 3) Section 11 of By-law No. 28-80 is further amended by inserting "Schedule to Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)" as shown on Schedule "C" to this By-law.
- 4)
 - a) Notice of this By-law shall be given by the Clerk in the manner and form and to the persons prescribed by Section 2 of O. Reg. 44/95.
 - b) Where no notice of appeal is filed with the Clerk of The Corporation of the City of North Bay within twenty (20) days after the day that the giving of written notice as required by the Act is completed, then this By-law shall be deemed to have come into force on the day it was passed.
 - c) Where one or more notices of appeal are filed with the Clerk of The Corporation of the City of North Bay within twenty (20) days after the day that the giving of

written notice as required by the Act is completed, setting out the objection to the By-law and the reasons in support of the objection, then this By-law shall not come into force until all appeals have been finally disposed of, whereupon the By-law shall be deemed to have come into force on the day it was passed.

READ A FIRST TIME IN OPEN COUNCIL THE 4TH DAY OF MARCH
1996.

READ A SECOND TIME IN OPEN COUNCIL THE 29TH DAY OF APRIL
1996

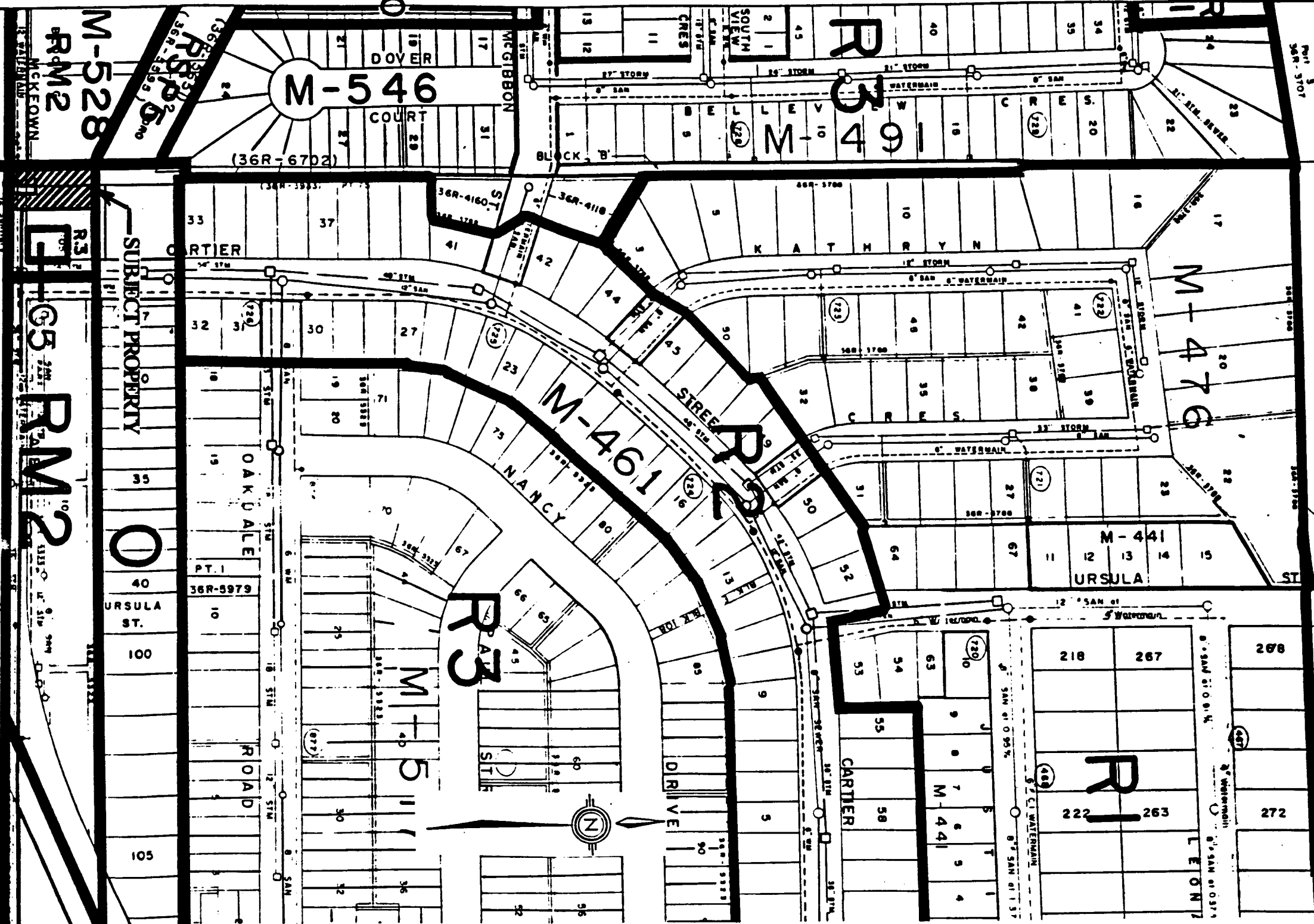
READ A THIRD TIME IN OPEN COUNCIL AND PASSED THIS 29TH DAY
OF APRIL 1996


MAYOR


CITY CLERK

This is Schedule " A "
To By-law No. 29-96
Passed the 29TH day of APRIL
1996.

John P. Brown
MAYOR
John W. Miller
CITY CLERK



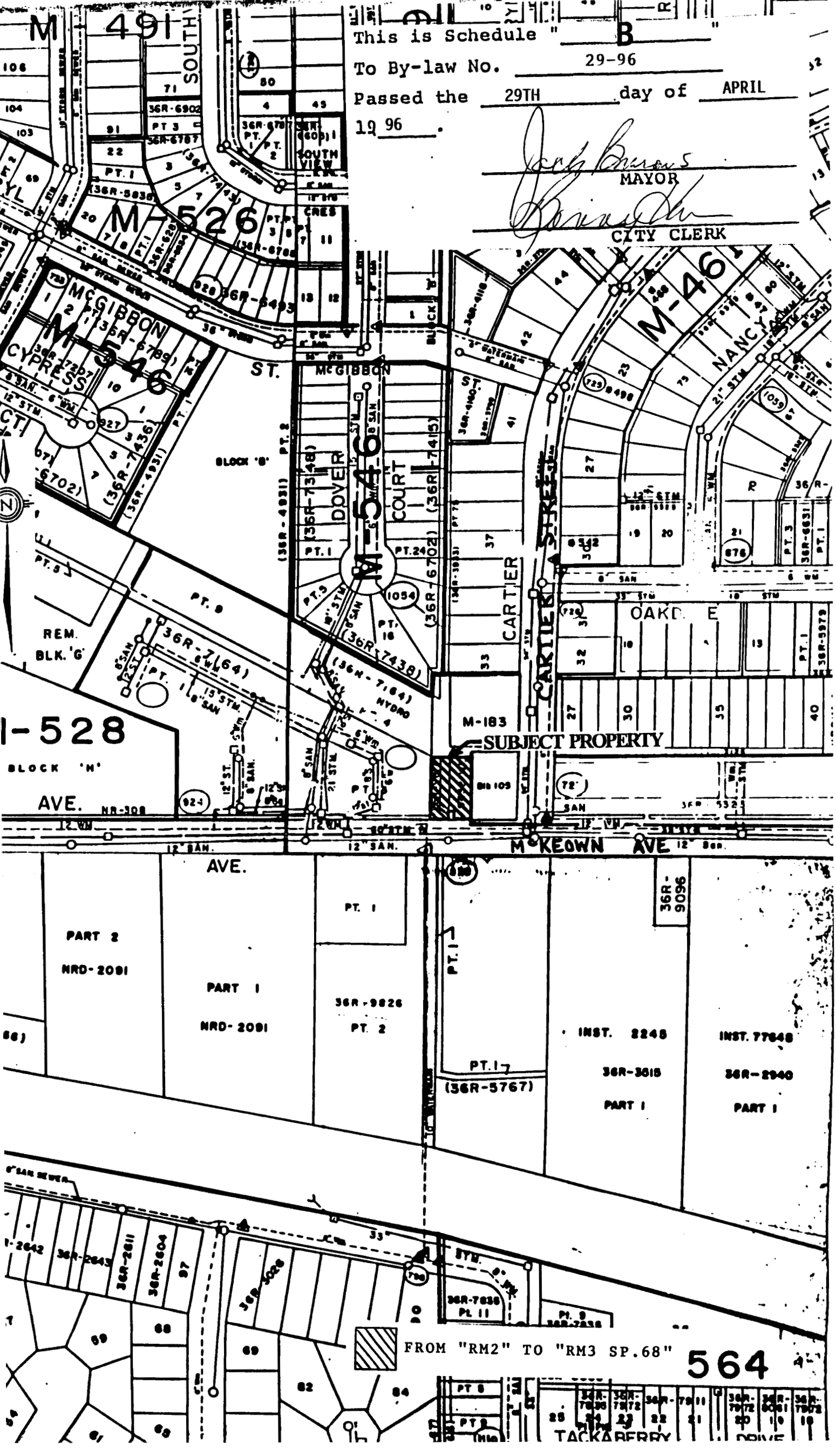
M-528
RM2

R3
RM2

URSULA ST.
100
105

This is Schedule " B "
To By-law No. 29-96
Passed the 29TH day of APRIL
19 96

Jack Brown
MAYOR
Ronald...
CITY CLERK



SUBJECT PROPERTY

FROM "RM2" TO "RM3 SP.68" **564**

TACKERFERRY DOVE

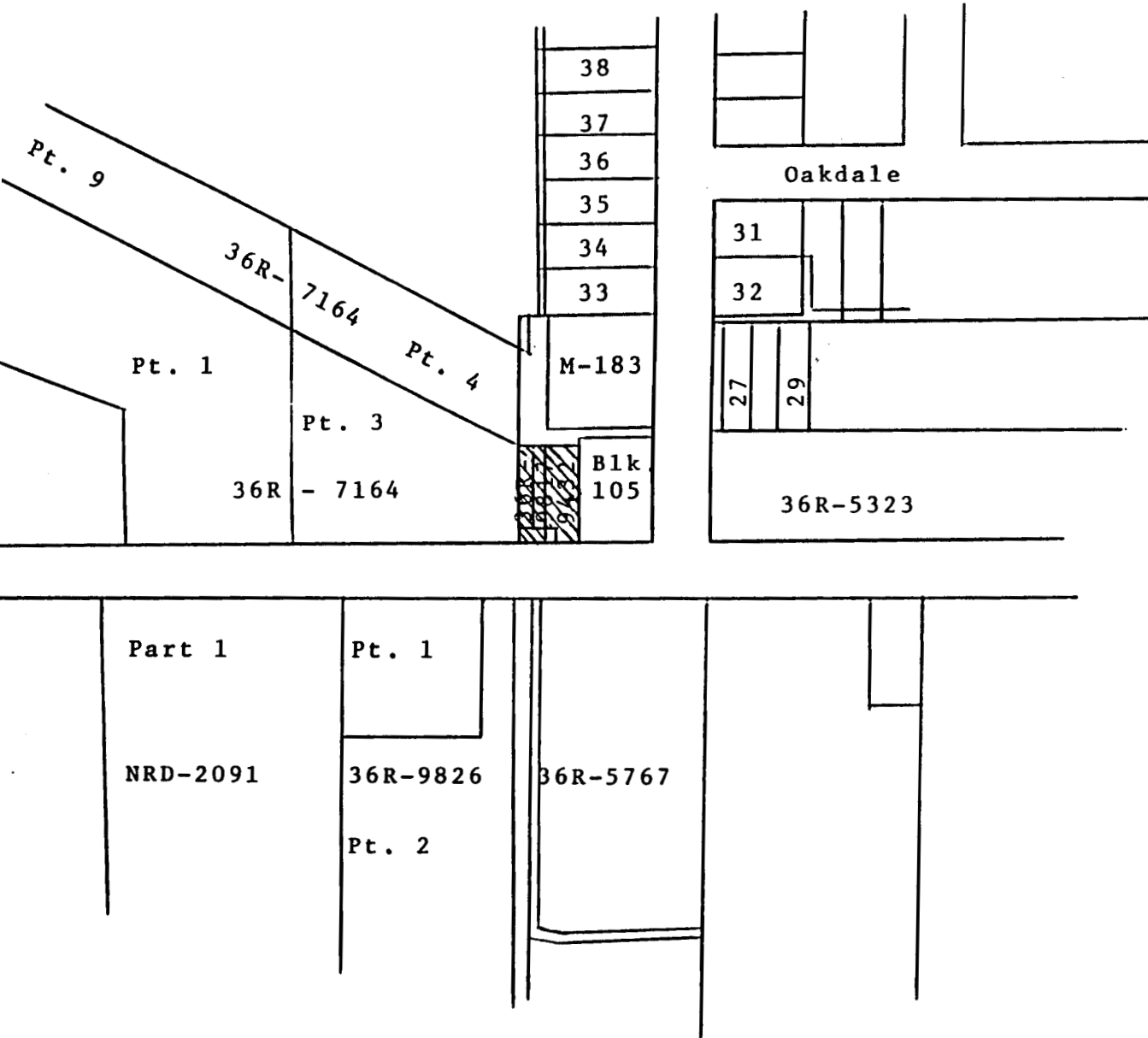
This is Schedule " C "

To By-law No. 29-96

Passed the 29TH day of APRIL
19 96 .

Jack Barrans
MAYOR
 [Signature]
CITY CLERK

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY
SPECIAL ZONE NO. 68 (RM3 SP.68)"



0 200
Feet