

THE CORPORATION OF THE CITY OF NORTH BAY

BY-LAW NO. 225-90

A BY-LAW TO AMEND BY-LAW NO. 28-80 TO
REZONE CERTAIN LANDS ON DRURY STREET
FROM A "LIGHT INDUSTRIAL THREE (M.3)"
ZONE TO AN "INDUSTRIAL COMMERCIAL
SPECIAL ZONE NO. 22 (M.C. SP.22)"
(MICOR HOLDINGS AND M. CORBEIL)

WHEREAS the owner of the subject property has requested a rezoning;

AND WHEREAS the Council of The Corporation of the City of North Bay has ensured that adequate information has been made available to the public, and has held at least one public meeting after due notice for the purpose of informing the public of this By-law;

AND WHEREAS it is deemed desirable to amend the zone designation shown on Schedule "B-52" of By-law No. 28-80 pursuant to Section 34 of The Planning Act;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE CITY OF NORTH BAY HEREBY ENACTS AS FOLLOWS:

- 1) Schedule "B-52" of By-law No. 28-80 is amended by changing the zoning designation of the property shown on Schedule "A" attached hereto (which property is more particularly described as Parts 1 and 2, Plan 36R-4274, Part 1, Plan 36R-4738, and Parts 1 and 2, Plan 36R-7317 along Drury Street and Franklin Street in the City of North Bay, shown as hatched on Schedules "B" and "C" attached hereto) from a "Light Industrial Three (M.3)" zone to an "Industrial Commercial Special Zone No. 22 (M.C. Sp.22)".
- 2) Section 11 of By-law No. 28-80 is amended by inserting at the end thereof the following Section 11.4.22:
 - 11.4.22 "Industrial Commercial Special Zone No. 22 (M.C. Sp.22)"
 - 11.4.22.1 The property description of this "Industrial Commercial Special Zone No. 22 (M.C. Sp.22)" is Parts 1 and 2, Plan 36R-4274, Part 1, Plan 36R-4738, Parts 1 and 2, Plan 36R-7317 along Drury Street in the City of North Bay as shown on the attached Schedules and Schedule "B-52".

11.4.22.2(a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 22 (M.C. Sp.22)", except for one Industrial Commercial building not to exceed 435 square metres for the following uses:

- Auto dealerships and service establishments;
- Banks;
- Hotels and Motels;
- Public Garages;
- Restaurants and Taverns;
- Service Stations or Gas Bars.

All those uses permitted in the Light Industrial One (M1) Zone;

One (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.

11.4.22.2(b) The regulations for this "Industrial Commercial Special Zone No. 22 (M.C. Sp.22)" are as follows:


- i) The maximum lot coverage not to exceed twenty (20) percent of the total lot area;
- ii) the minimum lot frontage shall be twenty-four and six-tenths (24.6) metres;
- iii) the minimum front yard setback shall be fifteen and zero-tenths (15.0) metres;
- iv) the minimum easterly side yard setback shall be thirteen and seven-tenths (13.7) metres;
- v) the minimum westerly side yard setback shall be six and zero-tenths (6.0) metres;
- vi) the minimum rear yard setback shall be seventy-nine and zero-tenths (79.0) metres.

11.4.22.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 22 (M.C. Sp.22)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

- 3) Section 11 of By-law No. 28-80 is further amended by inserting "Schedule to Industrial Commercial Special Zone No. 22 (M.C. Sp.22)" as shown on Schedule "C" to this By-law.
- 4)
 - a) Notice of this By-law shall be given by the Clerk in the manner and form and to the persons prescribed by Ontario Regulation 404/83.
 - b) Where no notice of appeal is filed with the Clerk of The Corporation of the City of North Bay within twenty (20) days after the day that the giving of written notice as required by the Act is completed, then this By-law shall be deemed to have come into force on the day it was passed.
 - c) Where one or more notices of appeal are filed with the Clerk of The Corporation of the City of North Bay within twenty (20) days after the day that the giving of written notice as required by the Act is completed, setting out the objection to the By-law and the reasons in support of the objection, then this By-law shall not come into force until all appeals have been finally disposed of, whereupon the By-law shall be deemed to have come into force on the day it was passed.

READ A FIRST TIME IN OPEN COUNCIL THE 26TH DAY OF NOVEMBER 1990 .
READ A SECOND TIME IN OPEN COUNCIL THE 21ST DAY OF JANUARY 1991 .
READ A THIRD TIME IN OPEN COUNCIL AND PASSED THIS 21ST DAY OF
JANUARY 1991 .


MAYOR


CITY CLERK

This is Schedule " 1 A "

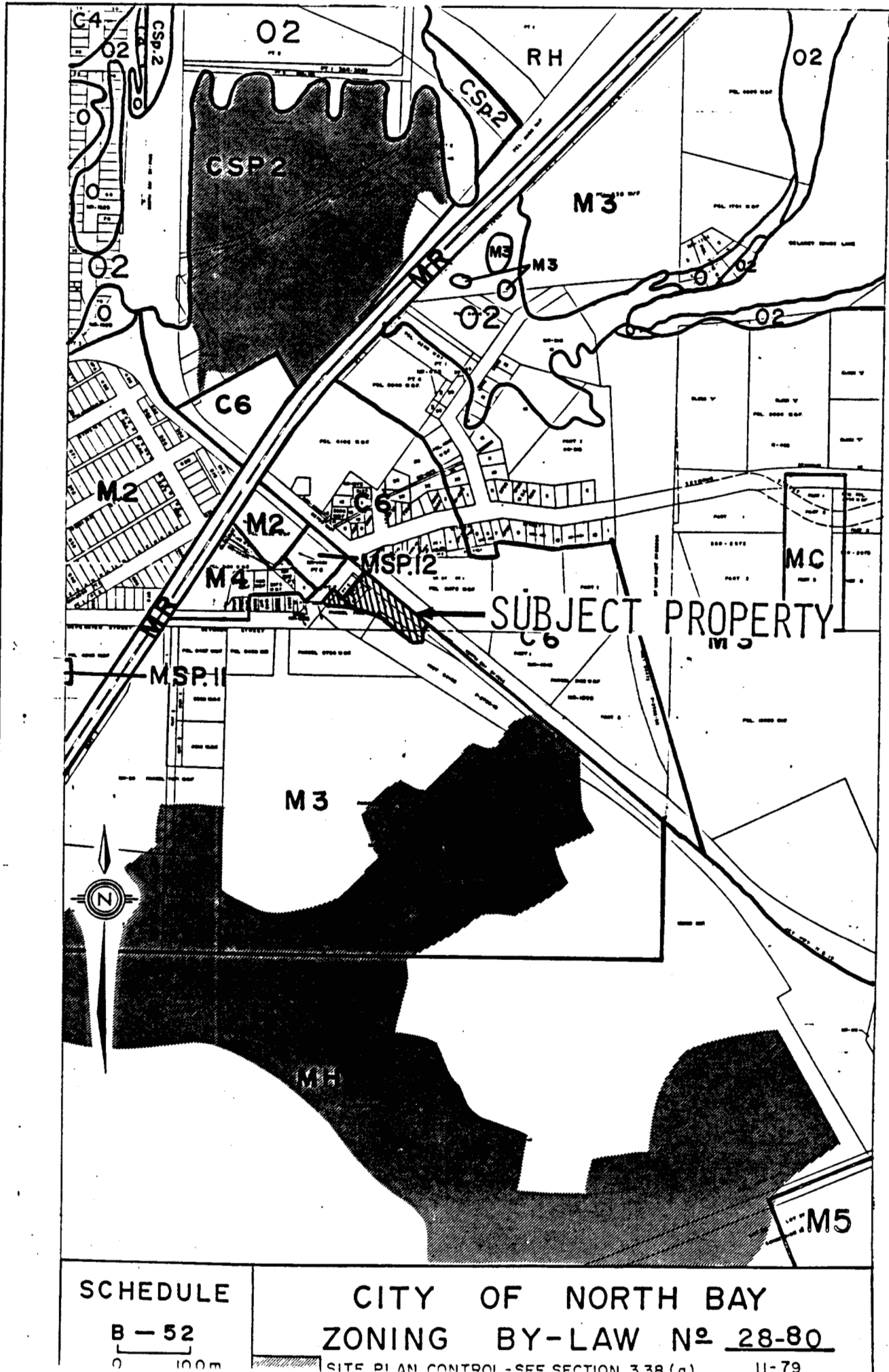
To By-law No. 225-90

Passed the 21ST day of JANUARY

19 91.

Stan D. Lawler
MAYOR

R. B. Bivins
CITY CLERK



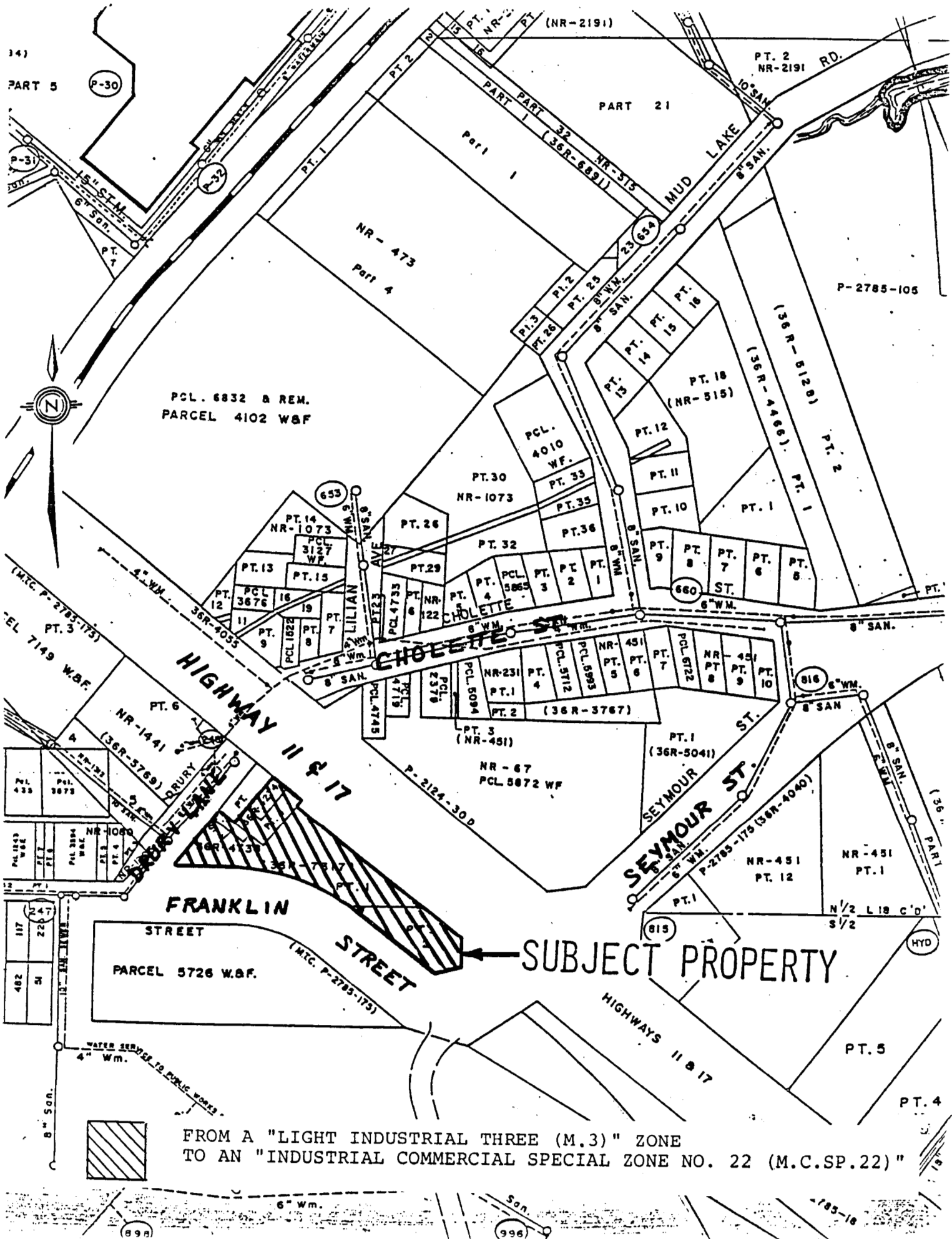
This is Schedule " B "

To By-law No. 225-90

Passed the 21ST day of JANUARY
19 91 .

Stan D. Lawley
MAYOR

B. [Signature]
CITY CLERK



FROM A "LIGHT INDUSTRIAL THREE (M.3)" ZONE
TO AN "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 22 (M.C.SP.22)"

This is Schedule "C"

to By-law No. 225-90

Passed the 21ST day of

JANUARY 19 91.

Stan D. Lawler
MAYOR

B. Beir
CITY CLERK

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 22 (M.C. SP.22)"

