

THE CORPORATION OF THE CITY OF NORTH BAY

BY-LAW NO. 78-85

A BY-LAW TO AMEND BY-LAW NO. 28-80 TO REZONE  
CERTAIN LANDS AT CHIPPEWA STREET FROM RM.2  
TO RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL  
ZONE NO. 15 (RM. 3 SP.15) (MARY DELFINO)

WHEREAS the owner of the property has requested a rezoning;

AND WHEREAS the Council of The Corporation of the City of North Bay has ensured that adequate information has been made available to the public and has held at least one public meeting after due notice for the purpose of informing the public of this By-law;

AND WHEREAS it is deemed desirable to amend the zone designation shown on Schedule "B-43" of By-law No. 28-80 pursuant to Section 34 of The Planning Act;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE CITY OF NORTH BAY HEREBY ENACTS AS FOLLOWS:


1. Schedule "B-43" of By-law No. 28-80 is amended by changing the zoning designation of the property shown on Schedule "A" attached hereto (which property is more particularly described as Lot 370, Plan No. 57 and part of a laneway abutting thereto on Chippewa Street in the City of North Bay, shown as hatched on Schedule "B" attached hereto), from a "Residential Multiple Second Density (RM.2)" Zone to a "Residential Multiple Third Density Special Zone No. 15 (RM.3Sp.15)".
2. Section 11 of By-law No. 28-80 is amended by inserting at the end thereof, the following Section 11.2.15:  
"11.2.15 "Residential Multiple Third Density Special Zone No. 15 (RM.3 Sp.15)"
  - 11.2.15.1 The property description of this "Residential Multiple Third Density Special Zone No. 15 (RM.3 Sp.15)" is:  
Lot 370, Plan No. 57 and part of a laneway abutting thereto along Chippewa Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".
  - 11.2.15.2 (a) No person shall use land or erect or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 15 (RM.3 Sp.15)" Zone except for the following uses:  
An eight (8) unit two (2) storey Apartment dwelling.


- (b) The regulations for this "Residential Multiple Third Density Special Zone No. 15 (RM.3 Sp.15)" Zone are as follows:
- (i) Maximum gross floor space shall be Six Hundred and thirty-nine and ninetenths (639.9) square metres;
  - (ii) The minimum lot frontage shall be twenty-one and nine tenths (21.9) metres;
  - (iii) The setback from the front lot line shall be a minimum of seven and six tenths (7.6) metres;
  - (iv) The setback from the southerly side lot line shall be a minimum of three (3) metres;
  - (v) The setback from the northerly side lot line shall be a minimum of six (6) metres;
  - (vi) The setback from the rear yard lot line shall be a minimum of seven and six-tenths (7.6) metres;
  - (vii) The minimum number of off-street parking spaces shall be ten (10);
  - (viii) The minimum width of an aisle used for vehicular access to a parking space with a ninety (90°) degree turn shall be four and twenty-six one hundredths (4.26) metres;
  - (ix) The maximum height of the building shall be two (2) storeys or six (6) metres whichever is less.

11.2.15.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 15 (RM.3 Sp.15)" Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

3. Section 11 of By-law No. 28-80 is further amended by inserting "Schedule to Residential Multiple Third Density Special Zone No. 15 (RM.3 Sp.15)" as shown on Schedule "C" to this By-law.
- 4.a) Notice of this By-law shall be given by the Clerk in the manner and form and to the persons prescribed by Ontario Regulation 404/83, not later than 15 days after the day this By-law is passed.
- b) Where no notice of appeal is filed with the Clerk of The Corporation of the City of North Bay within thirty-five (35) days from the passing of this By-law, then this By-law shall be deemed to have come into force on the day it was passed.
- c) Where one or more notice of appeal are filed with the Clerk of The Corporation of the City of North Bay within thirty-five (35) days from the passing of this By-law setting out the objection, then this By-law shall not come into force until all appeals have been finally disposed of, whereupon the By-law shall be deemed to have come into force on the day it was passed.

READ A FIRST TIME IN OPEN COUNCIL THE 10TH DAY OF JUNE 1985.  
READ A SECOND TIME IN OPEN COUNCIL THE 3RD DAY OF SEPTEMBER 1985.  
READ A THIRD TIME IN OPEN COUNCIL AND PASSED THIS 3RD DAY OF  
SEPTEMBER 1985.

  
MAYOR

  
CITY CLERK

This is Schedule " A "

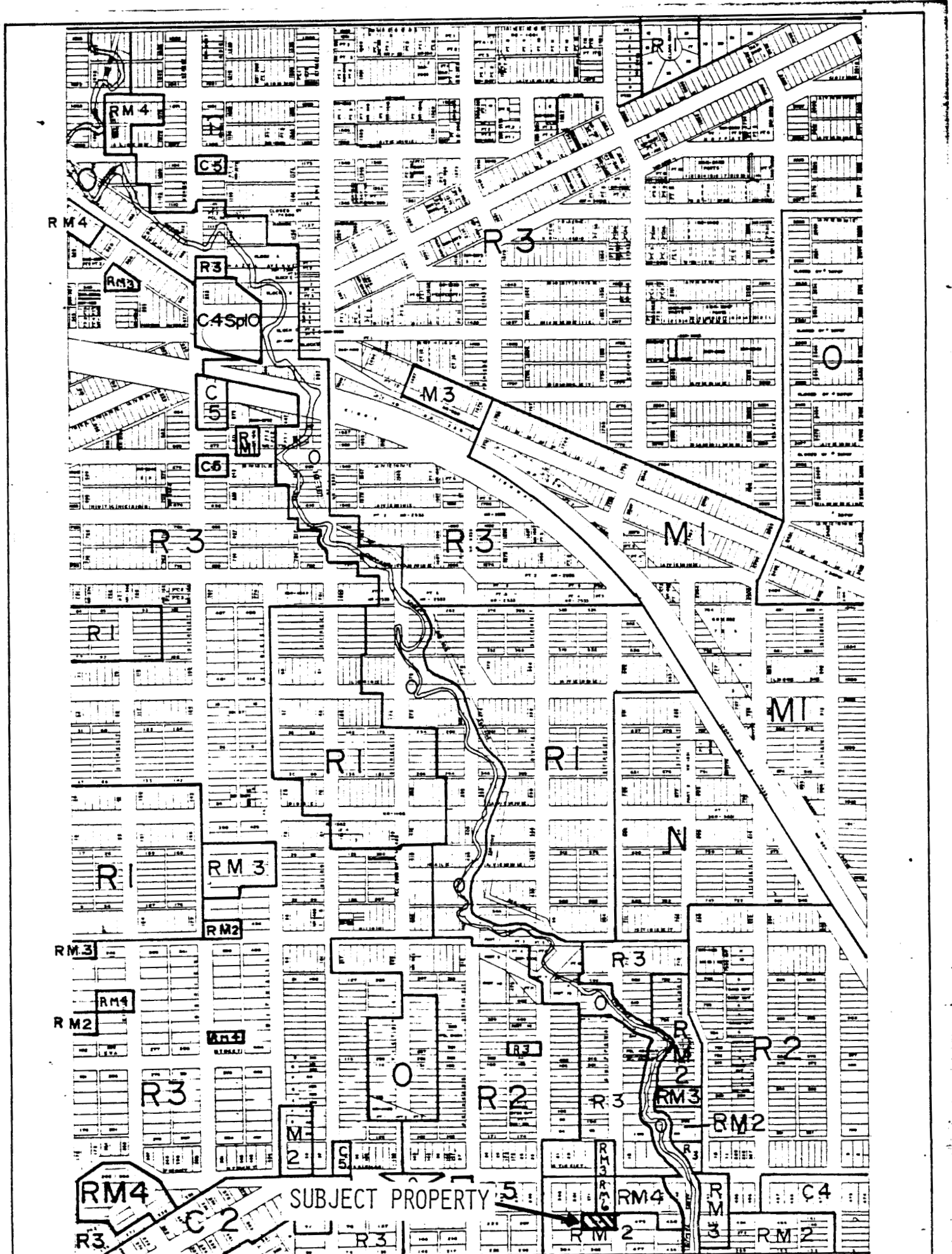
To By-law No. 78-85

Passed the 3rd day of September,

19 85.

*Stan D. Lawler*  
MAYOR

*R. B. Burton*  
CITY CLERK

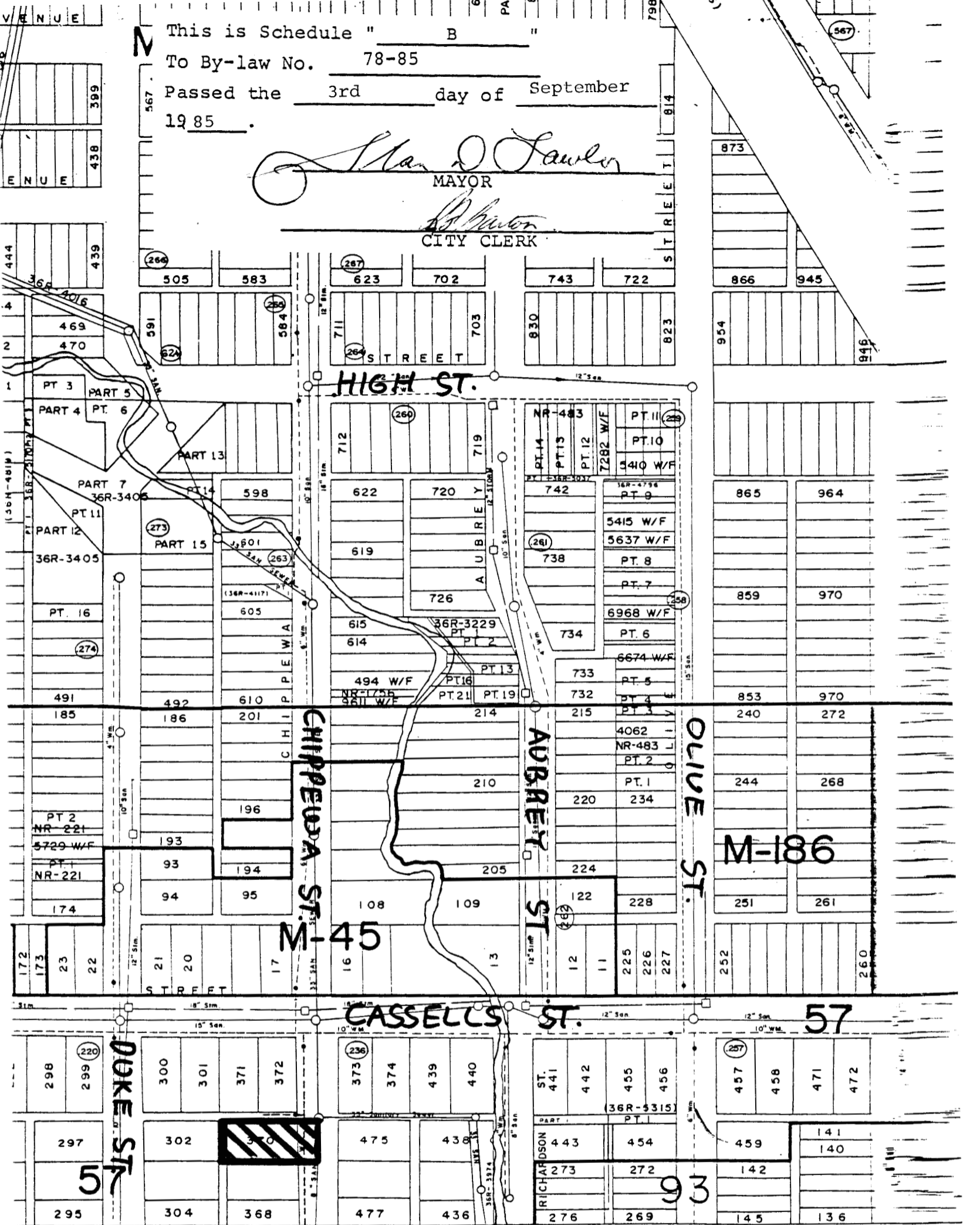


<p>SCHEDULE B - 43 0 100m</p>	<p>CITY OF NORTH BAY ZONING BY-LAW N<sup>o</sup> 28-80 11-79</p>
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This is Schedule " B "  
 To By-law No. 78-85  
 Passed the 3rd day of September  
 1985.

*Stan D. Lawler*  
 MAYOR

*B. Burton*  
 CITY CLERK



FROM "RESIDENTIAL MULTIPLE SECOND DENSITY(RM2) ZONE TO  
 "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE NO. 15(RM3SP.15)"

This is Schedule " C "  
To By-law No. 78-85  
Passed the 3rd day of September,  
19 85.

*Stan D. Lawlor*  
MAYOR  
*B. Butler*  
CITY CLERK

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE NO.15(RM3SP.15)"

